

AMENDMENT TO DECLARATION OF CONDOMINIUM

OF

REGENCY AT BOCA POINTE, A CONDOMINIUM

This Amendment to Declaration is made this 20th day of June, 1988 by Regency Developers, a Florida general partnership ("Declarant").

WITNESSETH:

WHEREAS, Declarant recorded the Declaration of Condominium of Regency at Boca Pointe, a Condominium ("Declaration") on June 15, 1987 in Official Records Book 5315, Page 312 of the Public Records of Palm Beach County, Florida;

WHEREAS, Article 8, Section D. of the Declaration authorizes the Declarant to amend the Declaration and its Exhibits so as to correct any scrivener's errors or omissions without the approval of the Association, Units Owners, lienors, or mortgagees of units;

WHEREAS, the Amendments set forth herein are for the purpose of correcting scrivener's errors and omissions appearing in the Declaration; and

WHEREAS, the Amendments set forth herein do not materially affect the rights of Units Owners, lienors, or mortgagees;

WHEREAS, the Certificate of Surveyor together with pages six (6) through thirteen (13) of Exhibit "C" to the Declaration have been revised;

NOW THEREFORE, Declarant makes this Amendment to the Declaration as follows:

Exhibit "C" to the Declaration is hereby deleted in its entirety and replaced with the new Exhibit "C" attached hereto.

IN WITNESS WHEREOF, the undersigned Declarant has hereunto set its hand and affixed its seal this 20th day of June, 1988.

Signed, sealed and delivered in the presence of:

REGENCY DEVELOPERS, a Florida general partnership

By: Regency at Boca Pointe, Ltd., a Florida limited partnership, as its general partner

By: Regency at Boca Pointe Development Corp., a Florida corporation, as general partner

By: Gordon Deckelbaum, Vice President

7177 W. GLADES ROAD, SW
BOCA RATON, FL 33434

Sharon D. Powell

STATE OF FLORIDA)
COUNTY OF PALM BEACH) :SS

The foregoing instrument was acknowledged before me this 20th day of June, 1988, by Gordon Deckelbaum, as Vice President of Regency at Boca Pointe Development Corp., a Florida corporation, as general partner of Regency at Boca Pointe, Ltd., a Florida limited partnership, as general partner of Regency Developers, a Florida general partnership.

Gordon Deckelbaum
Notary Public
State of Florida at Large
My Commission Expires: Jan 24, 1992

Prepared By & Return To:
JAMES J. WHEELER, ESQUIRE
7777 Glades Road, Suite 300
Boca Raton, FL 33434

NOTARY PUBLIC STATE OF FLORIDA
MY COMMISSION EXP. JAN. 24, 1992
BONDED THRU GENERAL INS. UND.

Certificate of Surveyor
**REGENCY AT BOCA POINTS
A CONDOMINIUM PHASE II**
STATE OF FLORIDA S.S.
COUNTY OF PALM BCH

Before me, the undersigned authority duly authorized to administer oaths and take acknowledgements, personally appeared DANIEL C. FORTIN, by me well known and known to me to be the person hereinafter described, who being by me first cautioned and sworn, deposes and says on oath as follows:

1. That he is a duly registered and duly licensed land surveyor authorized to practice under the laws of the State of Florida.

2. The construction of the improvements as shown on Sheets 5 thru 21 of the drawings to which this Certificate is appended is substantially complete, so that the survey of the land, of which a copy is attached to this Certificate as Sheet 5, and the graphic description of the condominium property, as shown on Sheet 5, together with the provisions of the declaration describing the condominium property, is an accurate representation of the location and dimensions of such improvements, so that the identification, location and dimensions of the common elements and of each unit can be determined from these materials.

3. That the Architectural plans used in the preparation of this Exhibit were prepared by Charles Sieger - Architectural Offices - A.I.A., 9300 Southwest 87th Avenue, Miami, Florida 33176, phone 305/274-2702 and dated 2-20-85.

4. That the elevations shown on each floor plan are based on mean sea level datum, 1929 general adjustment, of the United States Coast and Geodetic Survey.

FURTHER AFFIANT SAYETH NAUGHT.

Daniel C. Fortin
Daniel C. Fortin, Vice President
For The Firm
Professional Land Surveyor No. 2853
State of Florida

Sworn to and subscribed before me
this 14th day of June,
1988

Richard Kellard
Commissioner expires: May 14, 1991

Rev. 6-16-88 Vestibule, Sheets 6-13
Revised: 10/10/87 As-built 8/12/89 - 5/20/89



Fortin, Leavy, Skiles, Inc.

Consulting Engineers & Land Surveyors

- 855 South Federal Highway / Boca Raton, Florida 33432
- 180 Northeast 188th Street / North Miami Beach, Florida 33162
- Dade 453-4493 / Broward 483-7180 / Boca Raton 385-7378

EXHIBIT - CERTIFICATE

sheet 1 of 23

**REGENCY AT BOCA POINTE
A CONDOMINIUM**

A portion of Tract A and all of Tract B; REGENCY AT BOCA POINTE, according to the Plat thereof as recorded in Plat Book 54, at page 17 & 18, of the Public Records of Palm Beach County, Florida, lying and being in Section 33, Township 47 South, Range 42 East, Palm Beach County, Florida, being more particularly described as follows:

Begin at the Southwest corner of said Tract B, the following three (3) courses being along the Southerly line of said Tract B & Tract A; (1) thence South 75°-01'-53" East for 666.09 feet; (2) thence South 01°-07'-20" East for 90.00 feet; (3) thence North 88°-52'-40" East along the Northerly right-of-way line of SW 18th Street for 10.00 feet to the Southeast corner of said Tract "A" also being the Southwest corner of Tract S-1, PROMENADE AT BOCA POINTE NO. 1, according to the Plat thereof as recorded in Plat Book 45, at pages 119 & 120, of the Public Records of Palm Beach County, Florida, the following three (3) courses being along the Easterly line of said Tract A and the Westerly line of said Tract S-1; (1) thence North 01°-07'-20" West for 90.00 feet to a Point of Curvature; (2) thence Northwest along a 178.37 foot radius curve leading to the left through a central angle of 38°-11'-50" for an arc of 118.91 feet to a point of reverse curvature; (3) thence Northwest and Northeast along a 225.55 foot radius curve leading to the right through a central angle of 73°-56'-41" for an arc of 291.09 feet; thence North 55°-22'-29" West for 8.10 feet to a point on a circular curve concave to the Southeast and whose radius point bears South 55°-22'-29" East for 715.00 feet; thence Northeast along said 715.00 foot radius curve to the right through a central angle of 07°-43'-25" for an arc of 96.38 feet; thence North 00°-50'-30" East for 33.14 to a point on a circular curve concave to the Southwest whose radius point bears South 49°-20'-05" West for 112.05 feet; the following three (3) courses being along the Northerly line of said Tract A; (1) thence Northerly and Westerly along said 112.05 foot radius curve to the left through a central angle of 41°-04'-05" for an arc of 80.32 feet to a Point of Tangency; (2) thence North 81°-44'-00" West for 406.43 feet; (3) thence South 85°-53'-14" West for 210.34 feet; the following four (4) courses being along the Westerly line of said Tract A & Tract B; (1) thence South 01°-07'-20" East for 91.86 feet; (2) thence South 49°-45'-20" West for 55.00 feet; (3) thence South 40°-14'-40" East for 90.88 feet; (4) thence South 01°-07'-20" East for 203.33 feet to the POINT OF BEGINNING.

Containing 295,596 square feet or 6.7860 acres, more or less.

SURVEYOR'S NOTES:

- Bearings shown hereon are based on said Plat Book 54, page 17 & 18, Palm Beach County, Florida.
- Lands shown hereon were not abstracted for easements and/or rights-of-way of records.
- This is not a "Sketch of Survey" but only a graphic depiction of the description shown hereon.

SURVEYOR'S CERTIFICATION:

We hereby certify that the attached "Sketch of Description" of the above described parcel of land is true and correct to the best of our knowledge and belief as prepared on October 5, 1987, under our direction and complies with the minimum technical standards set forth by the State of Florida Board of Land Surveyors.

FORTIN, LEAVY, SKILES, INC.

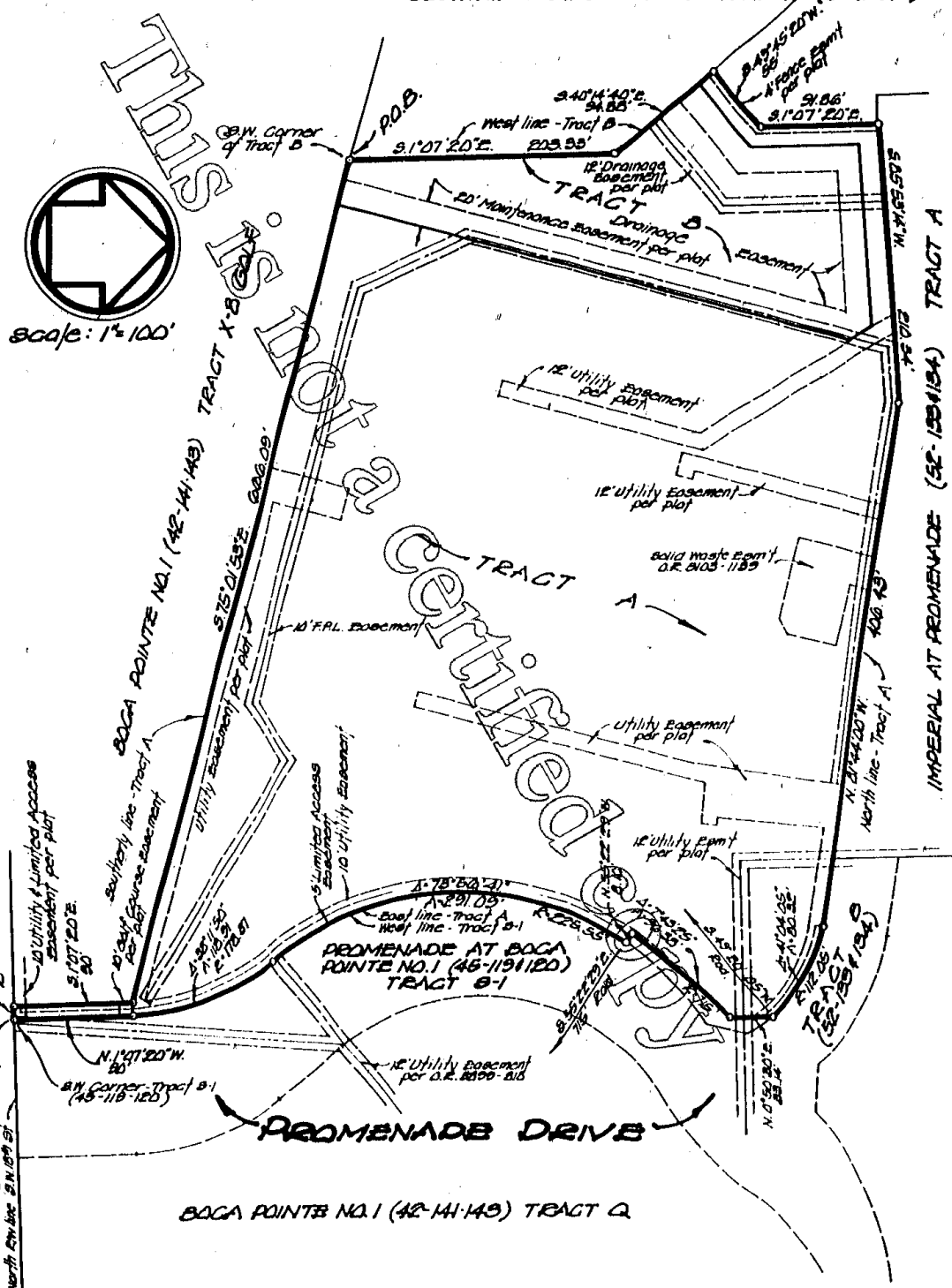
"NOT VALID UNLESS SEALED"

By: *[Signature]*
Daniel C. Fortin, For The Firm
Professional Land Surveyor No. 2053
State of Florida.

Note: see sheet 3 of 28 for sketch of description

SKETCH OF DESCRIPTION: RESENY AT BOGA POINTE A GONDOMINIUM

SOUTHWINDS AT BOGA POINTE PLAT ONE (50-72473)



This is Not a Certified Plat

S.W. 18th STREET

BOGA POINTE NO.1 (42-141-143) TRACT Q

Note: see sheet 2 of 28 for Description, Notes and Certification of sketch of Description.

EXHIBIT

sheet 3 of 28

REGENCY AT BOCA POINTE A CONDOMINIUM PHASE II

A portion of Tract "A"; REGENCY AT BOCA POINTE, according to the Plat thereof as recorded in Plat Book 54, at page 17 & 18, of the Public Records of Palm Beach County, Florida, lying and being in Section 33, Township 47 South, Range 42 East, Palm Beach County, Florida, being more particularly described as follows:

Commence at the Southwest corner of Tract B of said, REGENCY AT BOCA POINTE, according to the Plat thereof as recorded in Plat Book 54, at page 17 & 18, of the Public Records of Palm Beach County, Florida; thence South 75°-01'-53" East along the southerly line of said Tract B and Tract A for 281.09 feet to the Point of Beginning of the hereinafter described parcel of land; the following three (3) courses being along the southerly line of said Tract A; (1) thence continue South 75°-01'-53" East for 385.00 feet; (2) thence South 01°-07'-20" East for 90.00 feet; (3) thence North 88°-52'-40" East along the northerly right-of-way line of SW 18th Street for 10.00 feet to the southeasterly corner of said Tract "A" also being the southwesterly corner of Tract S-1, PROMENADE AT BOCA POINTE NO. 1, according to the Plat thereof as recorded in Plat Book 45, at pages 119 & 120, of the Public Records of Palm Beach County, Florida, the following three (3) courses being along the Easterly line of said Tract A and the Westerly line of said Tract S-1; (1) thence North 01°-07'-20" West for 90.00 feet to a Point of Curvature; (2) thence Northwesterly along a 178.37 foot radius curve leading to the left through a central angle of 38°-11'-50" for an arc of 118.91 feet to a point of reverse curvature; (3) thence Northwesterly and Northeasterly along a 225.55 foot radius curve leading to the right through a central angle of 73°-56'-41" for an arc of 291.09 feet; thence North 55°-22'-29" West for 8.10 feet to a point on a circular curve concave to the Southeast and whose radius point bears South 55°-22'-29" East for 715.00 feet; thence Northerly and Easterly along said 715.00 foot radius curve to the right through a central angle of 07°-43'-25" for an arc of 96.38 feet; thence North 00°-50'-30" East for 33.74 feet to a point on a circular curve concave to the Southwest whose radius point bears South 49°-20'-05" West for 112.05 feet; the following two (2) courses being along the Northerly line of said Tract A; (1) thence Northerly and Westerly along said 112.05 foot radius curve to the left through a central angle of 44°-04'-05" for an arc of 80.32 feet to a Point of Tangency; (2) thence North 81°-44'-00" West for 117.44 feet; the following nine (9) courses being along the common line of Phase I and Phase II, REGENCY AT BOCA POINTE, A CONDOMINIUM; (1) thence South 14°-58'-07" West for 65.54 feet; (2) thence South 29°-58'-07" West for 100.00 feet; (3) thence South 59°-58'-07" West for 65.00 feet; (4) thence North 75°-01'-53" West for 15.00 feet; (5) thence South 14°-58'-07" West for 97.33 feet; (6) thence North 75°-01'-53" West for 9.50 feet; (7) thence South 14°-58'-07" West for 88.00 feet; (8) thence South 75°-01'-53" East for 20.00 feet; (9) thence South 14°-58'-07" West for 97.00 feet to the POINT OF BEGINNING.

Containing 128,479 square feet or 2.9495 acres, more or less.

SURVEYOR'S NOTES:

- Bearings shown hereon are based on said Plat Book 54, page 17 & 18, Palm Beach County, Florida.
- Lands shown hereon were not abstracted for easements and/or rights-of-way of records.

SURVEYOR'S CERTIFICATION:

We hereby certify that the attached "Sketch of Survey" of the above described parcel of land is true and correct to the best of our knowledge and belief as surveyed on October 5, 1987, under our direction and complies with the minimum technical standards set forth by the State of Florida Board of Land Surveyors.

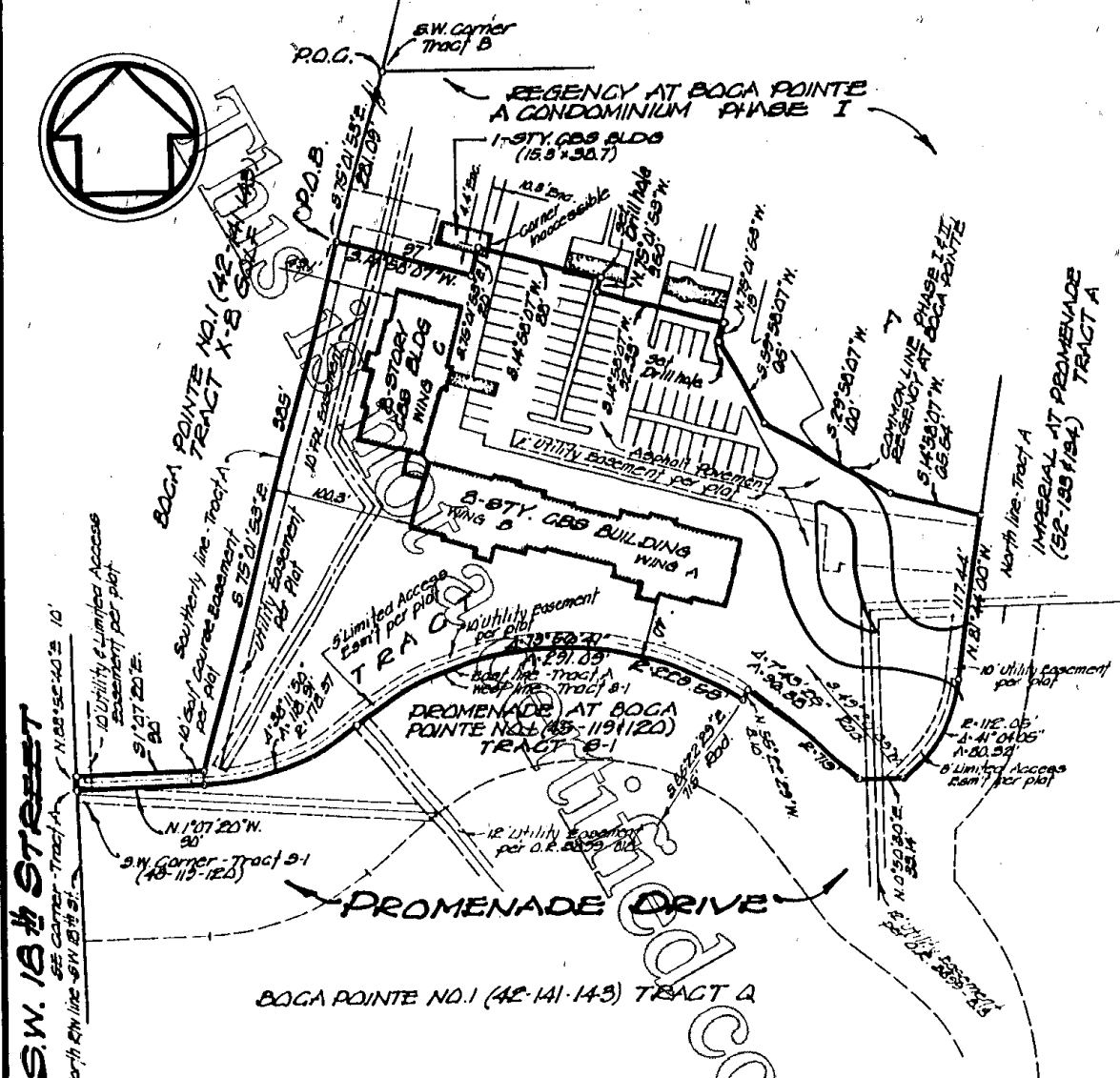
FORTIN, LEAVY, SKILES, INC.

"NOT VALID UNLESS SEALED"

By: *[Signature]*
Daniel C. Fortin, For The Firm
Professional Land Surveyor No. 2853
State of Florida

Note: see sheet 5 of 28 for sketch of survey

REGENCY AT BOGA POINTE A CONDOMINIUM PHASE II



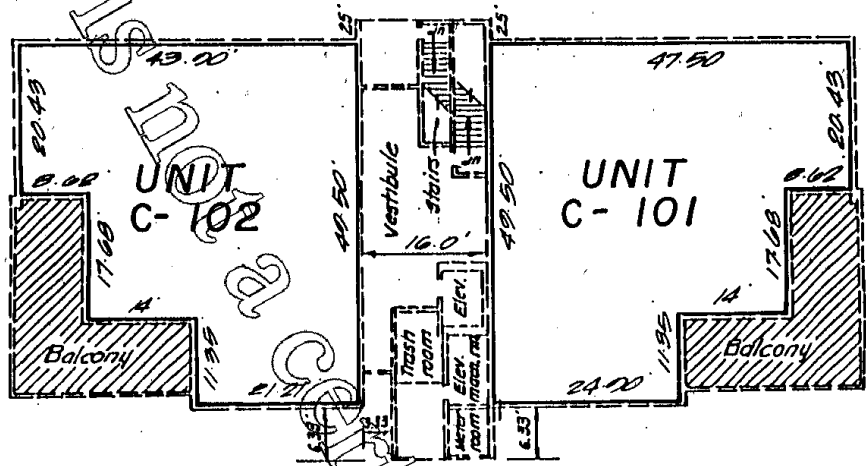
Note:
see sheet 4 of 28 for Description, Notes,
and Certification of Survey.

o indicates Set 1/2" Pipe & Cop L& 8055
unless otherwise shown.

Parking spaces are Limited Common
Elements.

REGENCY AT BOCA POINTE A CONDOMINIUM PHASE II

WING II




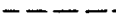

NOTES:

Each Condominium Unit consists of the space bounded by the Condominium Unit boundary lines as shown and by the finished surfaces of the floor and ceiling.

FLOOR ELEVATION: 17.00

CEILING ELEVATION: 25.05

LEGEND:

-  Condominium Unit boundary line.
-  Common Element boundary line.
-  Limited Common elements.

GROUND FLOOR PLAN - WING I

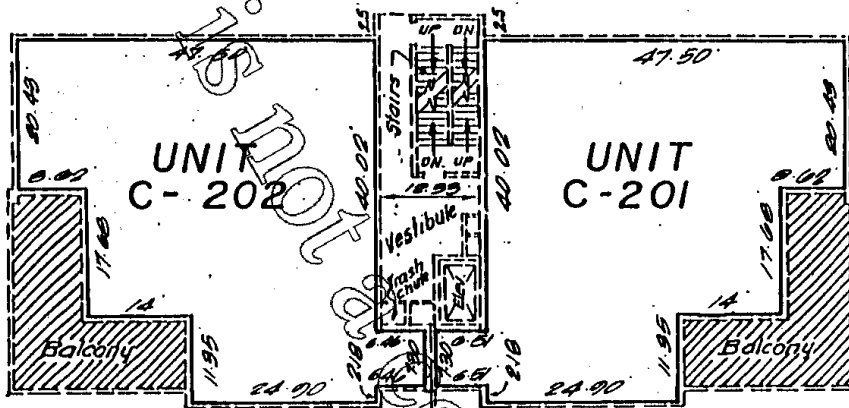
EXHIBIT

SHEET 6 OF 28

Rev 6-16-88 Vestibule

REGENCY AT BOCA POINTE A CONDOMINIUM PHASE II

WING II

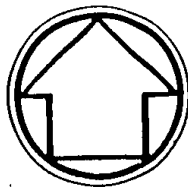


NOTES:

Each Condominium Unit consists of the space bounded by the Condominium Unit boundary lines as shown and by the finished surfaces of the floor and ceiling.

FLOOR ELEVATION: 29.79

CEILING ELEVATION: 33.83



LEGEND:

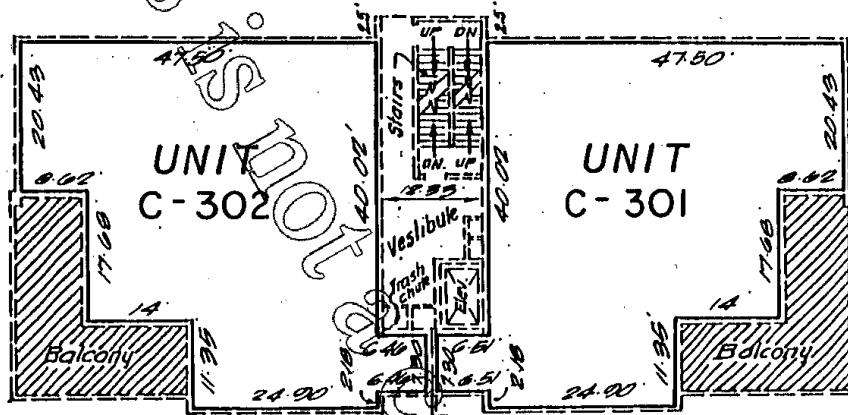
- Condominium Unit boundary line.
- - - Common Element boundary line.
- ▨ Limited Common elements.

2ND FLOOR PLAN - WING I
EXHIBIT

SHEET 7 OF 28

REGENCY AT BOCA POINTE A CONDOMINIUM PHASE II

WING II

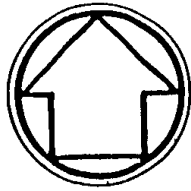


NOTES:

Each Condominium Unit consists of the space bounded by the Condominium Unit boundary lines as shown and by the finished surfaces of the floor and ceiling.

FLOOR ELEVATION: 34.40

CEILING ELEVATION: 42.40



LEGEND:

- Condominium Unit boundary line.
- - - - - Common Element boundary line.
- ▨ Limited Common elements.

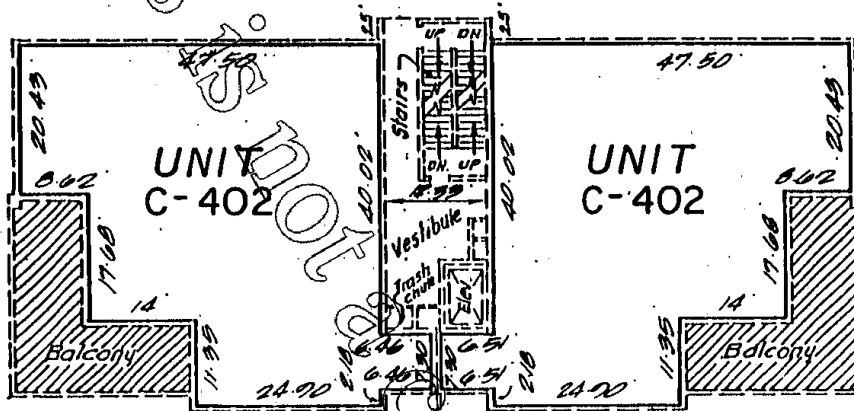
3RD FLOOR PLAN - WING I
EXHIBIT

SHEET 8 OF 28

Rev. 6-16-88 Vestibule

REGENCY AT BOCA POINTE A CONDOMINIUM PHASE II

WING II

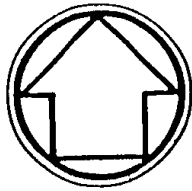


NOTES:




Each Condominium Unit consists of the space bounded by the Condominium Unit boundary lines as shown and by the finished surfaces of the floor and ceiling.

FLOOR ELEVATION: 43.22

CEILING ELEVATION: 51.35

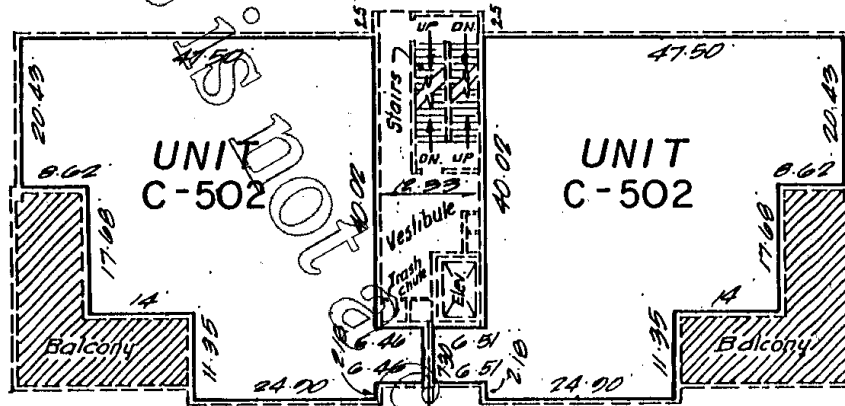


LEGEND:

-  Condominium Unit boundary line.
-  Common Element boundary line.
-  Limited Common elements.

REGENCY AT BOCA POINTE A CONDOMINIUM PHASE II

WING II

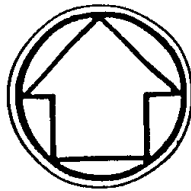


NOTES:




Each Condominium Unit consists of the space bounded by the Condominium Unit boundary lines as shown and by the finished surfaces of the floor and ceiling.

FLOOR ELEVATION: 52.04

CEILING ELEVATION: 60.12



LEGEND:

-  Condominium Unit boundary line.
-  Common Element boundary line.
-  Limited Common elements.

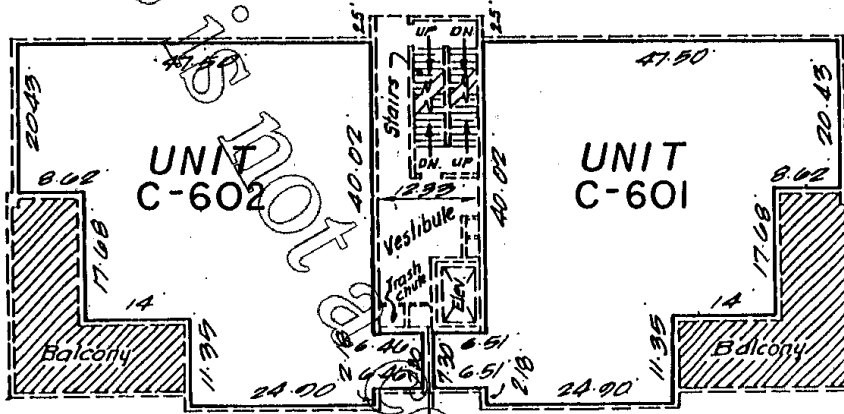
5TH FLOOR PLAN - WING I
EXHIBIT

SHEET 10 OF 28

Rev. 6-16-88 Vestibule

REGENCY AT BOCA POINTE A CONDOMINIUM PHASE II

WING II

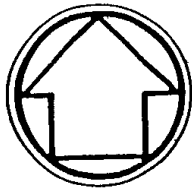


NOTES:

Each Condominium Unit consists of the space bounded by the Condominium Unit boundary lines as shown and by the finished surfaces of the floor and ceiling.

FLOOR ELEVATION: 60.02

CEILING ELEVATION: 68.90

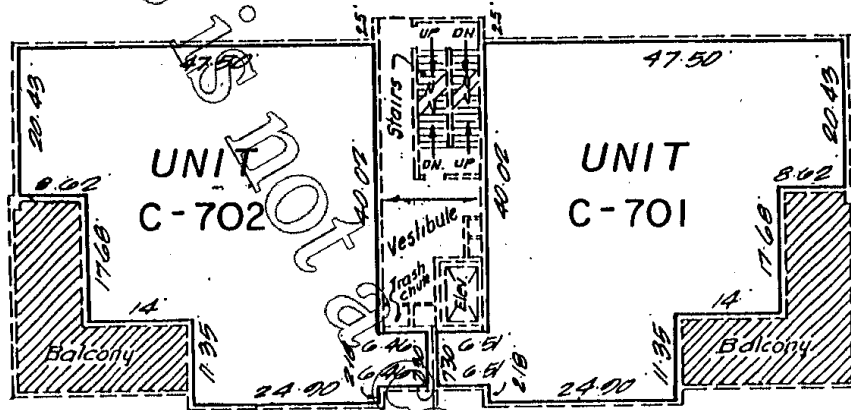


LEGEND:

- Condominium Unit boundary line.
- - - - Common Element boundary line.
- ▨ Limited Common elements.

REGENCY AT BOCA POINTE A CONDOMINIUM PHASE II

WING II

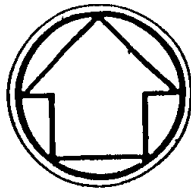


NOTES:

Each Condominium Unit consists of the space bounded by the Condominium Unit boundary lines as shown and by the finished surfaces of the floor and ceiling.

FLOOR ELEVATION: 69.65

CEILING ELEVATION: 77.15

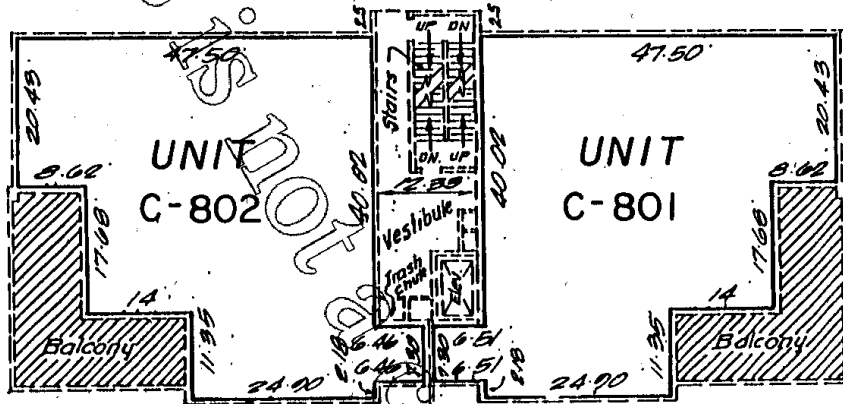


LEGEND:

- Condominium Unit boundary line.
- - - - - Common Element boundary line.
- ▨ Limited Common elements.

REGENCY AT BOCA POINTE A CONDOMINIUM PHASE II

WING II

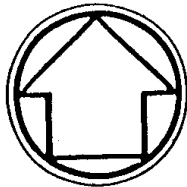


NOTES:

Each Condominium Unit consists of the space bounded by the Condominium Unit boundary lines as shown and by the finished surfaces of the floor and ceiling.

FLOOR ELEVATION: 70.45

CEILING ELEVATION: 87.02



LEGEND:

- Condominium Unit boundary line.
- - - - Common Element boundary line.
- ▨ Limited Common elements.

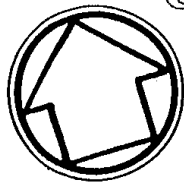
8TH FLOOR PLAN - WING I
EXHIBIT

SHEET 13 OF 28

Rev. 6-16-88 Vestibule

**REGENCY AT BOCA POINTE,
A CONDOMINIUM
PHASE II**

This is not a certified



NOTES:

Each Condominium Unit consists of the space bounded by the Condominium Unit boundary lines as shown and by the finished surfaces of the floor and ceiling.

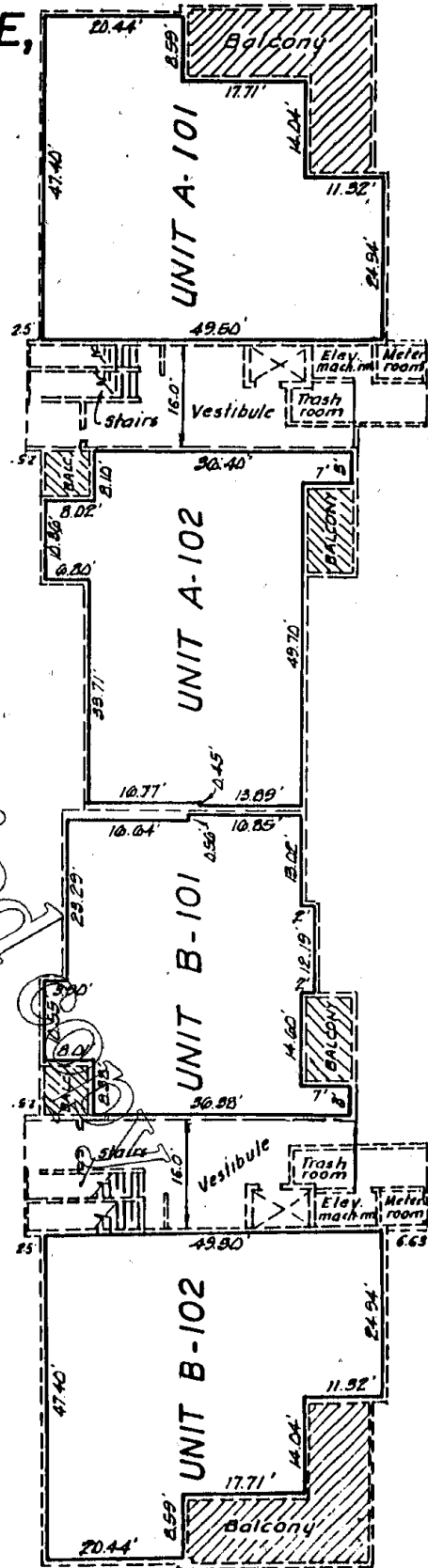
FLOOR ELEVATION: 17.04

CEILING ELEVATION: 29.12

LEGEND:

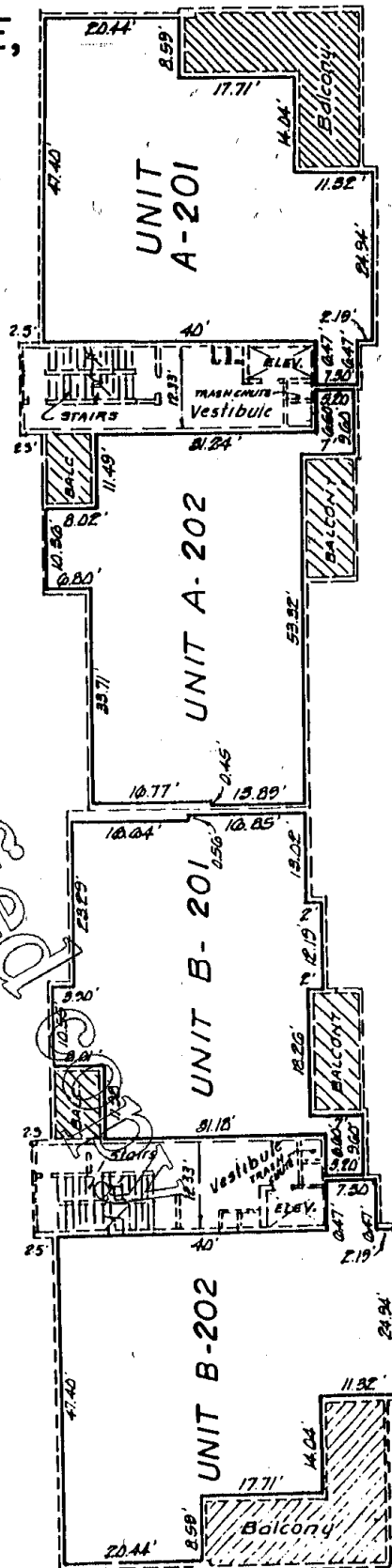
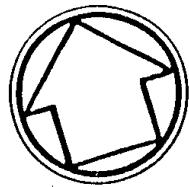
- Condominium Unit boundary line.
- Common Element boundary line.
- Limited Common elements.

**GROUND
FLOOR PLAN - WING II**



REGENCY AT BOCA POINTE,
A CONDOMINIUM
PHASE II

This is not a certified



NOTES:

Each Condominium Unit consists of the space bounded by the Condominium Unit boundary lines as shown and by the finished surfaces of the floor and ceiling.

FLOOR ELEVATION: 29.83

CEILING ELEVATION: 33.91

LEGEND:

- Condominium Unit boundary line.
- Common Element boundary line.
- Limited Common elements.

2ND FLOOR PLAN - WING II

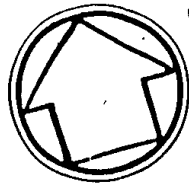
EXHIBIT

WING I

SHEET 15 OF 28

REGENCY AT BOCA POINTE, A GONDOMINIUM PHASE II

This is not a certified






NOTES:

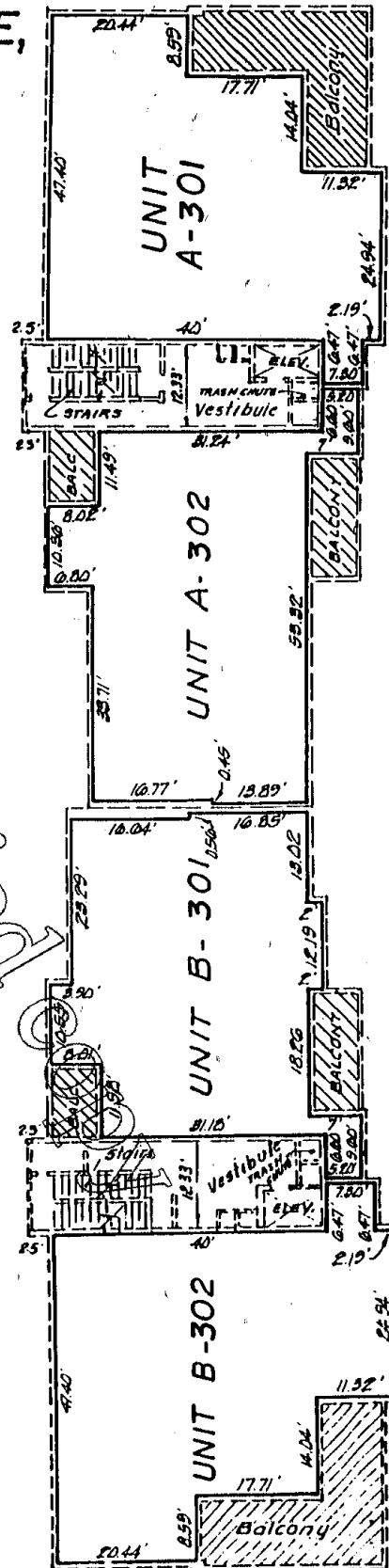
Each Condominium Unit consists of the space bounded by the Condominium Unit boundary lines as shown and by the finished surfaces of the floor and ceiling.

FLOOR ELEVATION: 34.63

CEILING ELEVATION: 42.74

LEGEND:

-  Condominium Unit boundary line.
-  Common Element boundary line.
-  Limited Common elements.



3RD FLOOR PLAN - WING II

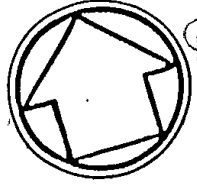
EXHIBIT

WING I

SHEET 10 OF 28

REGENCY AT BOCA POINTE, A CONDOMINIUM PHASE II

This is not a certified
100






NOTES:

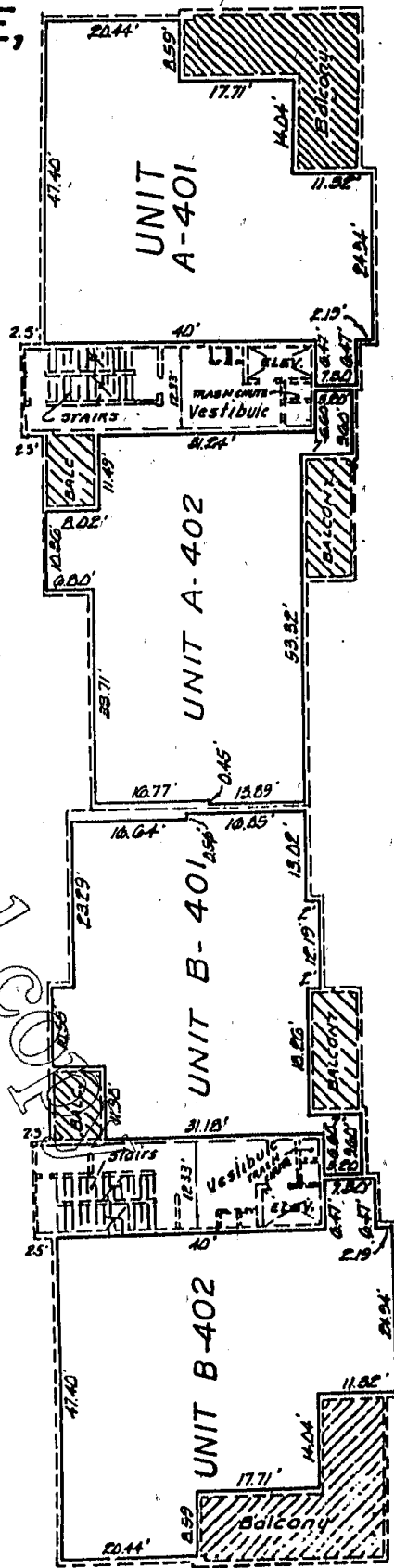
Each Condominium Unit consists of the space bounded by the Condominium Unit boundary lines as shown and by the finished surfaces of the floor and ceiling.

FLOOR ELEVATION: 43.45

CEILING ELEVATION: 51.54

LEGEND:

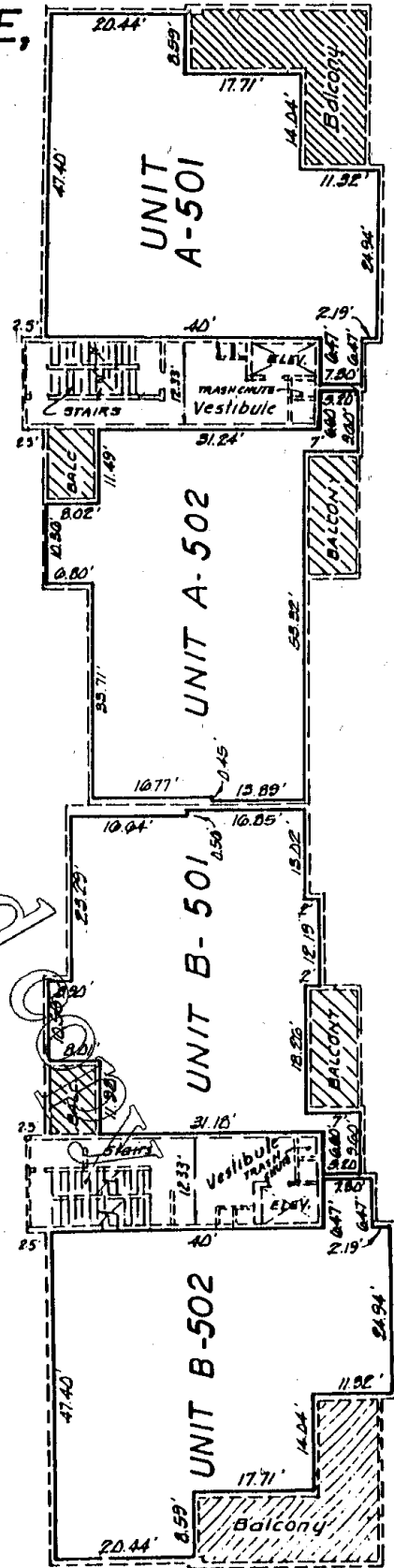
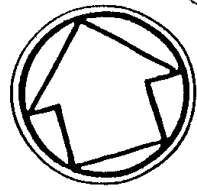
-  Condominium Unit boundary line.
-  Common Element boundary line.
-  Limited Common elements.



4TH FLOOR PLAN - WING II

REGENCY AT BOCA POINTE,
 A CONDOMINIUM
 PHASE II.

This is not a certified



NOTES:

Each Condominium Unit consists of the space bounded by the Condominium Unit boundary lines as shown and by the finished surfaces of the floor and ceiling.

FLOOR ELEVATION: 52.29

CEILING ELEVATION: 60.42

LEGEND:

- Condominium Unit boundary line.
- Common Element boundary line.
- Limited Common elements.

5TH FLOOR PLAN - WING II

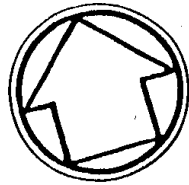
EXHIBIT

WING I

SHEET 18 OF 28

REGENCY AT BOCA POINTE,
 A CONDOMINIUM
 PHASE II

This is not a certified document



NOTES:

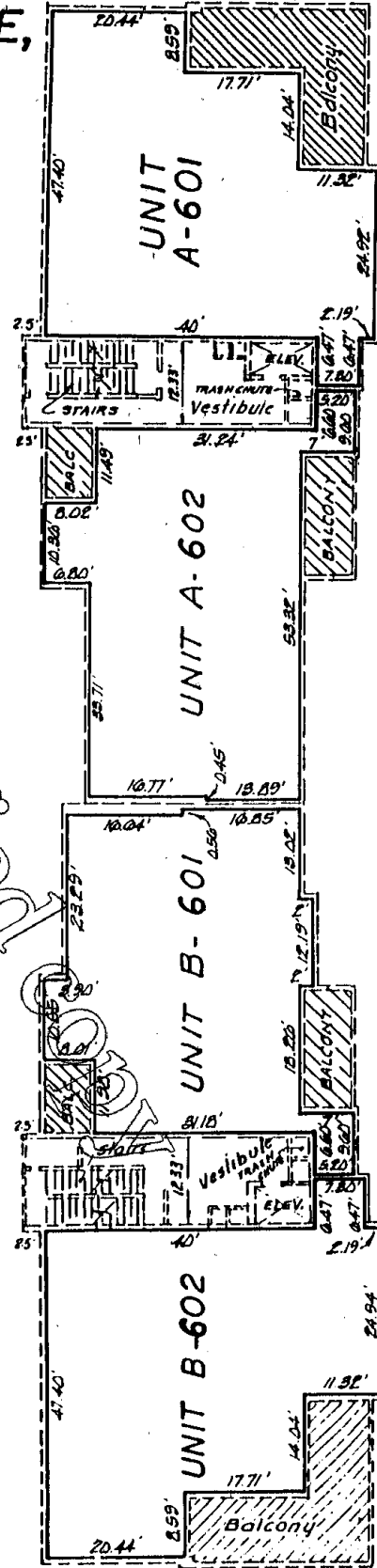
Each Condominium Unit consists of the space bounded by the Condominium Unit boundary lines as shown and by the finished surfaces of the floor and ceiling.

FLOOR ELEVATION: 61.15

CEILING ELEVATION: 69.25

LEGEND:

- Condominium Unit boundary line.
- Common Element boundary line.
- Limited Common elements.



6TH FLOOR PLAN - WING II

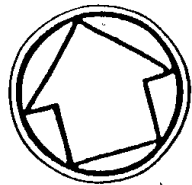
EXHIBIT

WING I

SHEET 19 OF 28

REGENCY AT BOCA POINTE,
 A CONDOMINIUM
 PHASE II

This is not a certified document



NOTES:

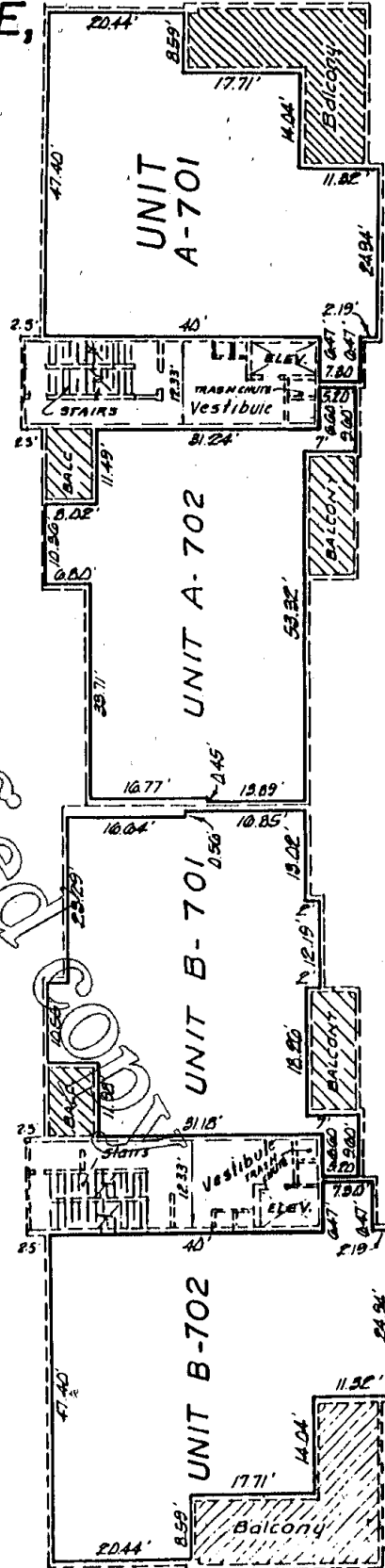
Each Condominium Unit consists of the space bounded by the Condominium Unit boundary lines as shown and by the finished surfaces of the floor and ceiling.

FLOOR ELEVATION: 69.96

CEILING ELEVATION: 78.09

LEGEND:

- Condominium Unit boundary line.
- Common Element boundary line.
- Limited Common elements.



7TH FLOOR PLAN - WING II

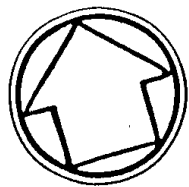
EXHIBIT

WING I

SHEET 20 OF 28

REGENCY AT BOCA POINTE,
 A CONDOMINIUM
 PHASE II

This is not a certified



NOTES:

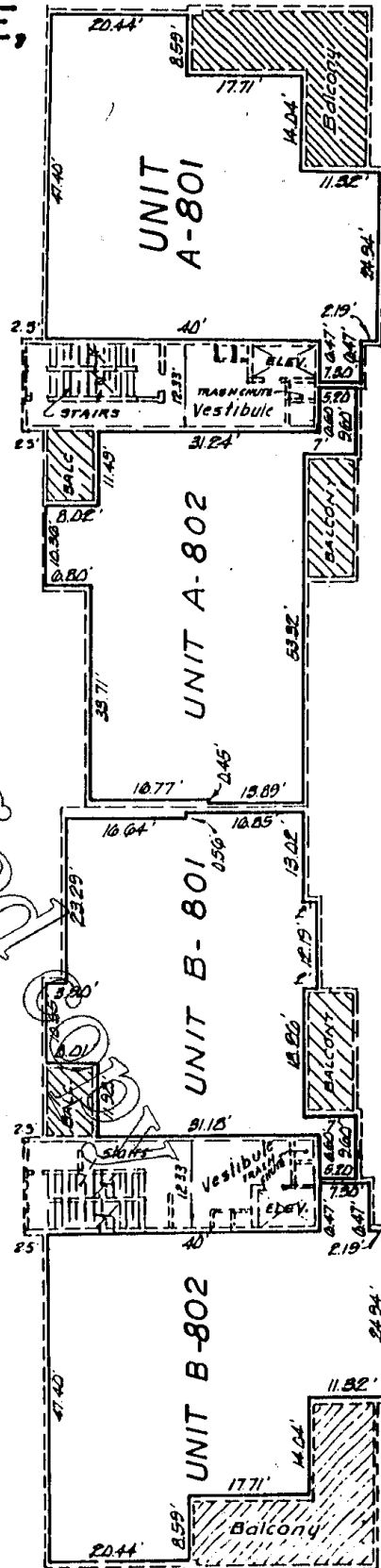
Each Condominium Unit consists of the space bounded by the Condominium Unit boundary lines as shown and by the finished surfaces of the floor and ceiling.

FLOOR ELEVATION: 78.76

CEILING ELEVATION: 88.04

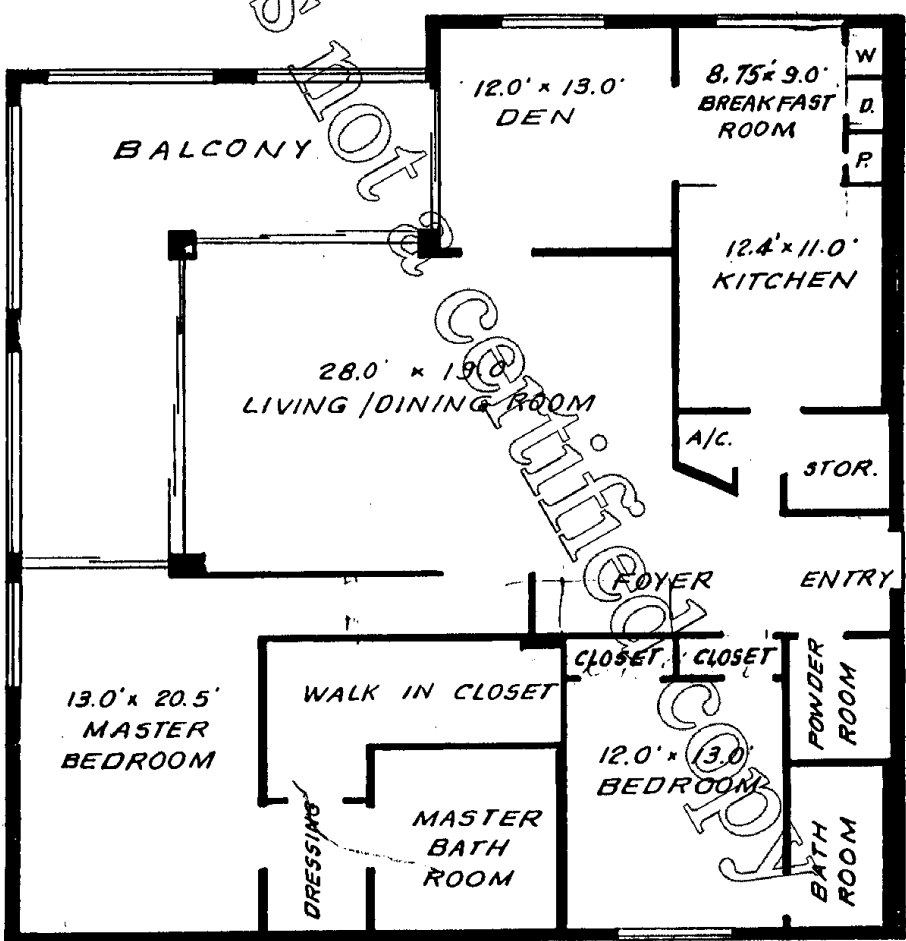
LEGEND:

- Condominium Unit boundary line.
- Common Element boundary line.
- Limited Common elements.



8THFLOOR PLAN - WING II

REGENCY AT BOCA POINTE A CONDOMINIUM PHASE II



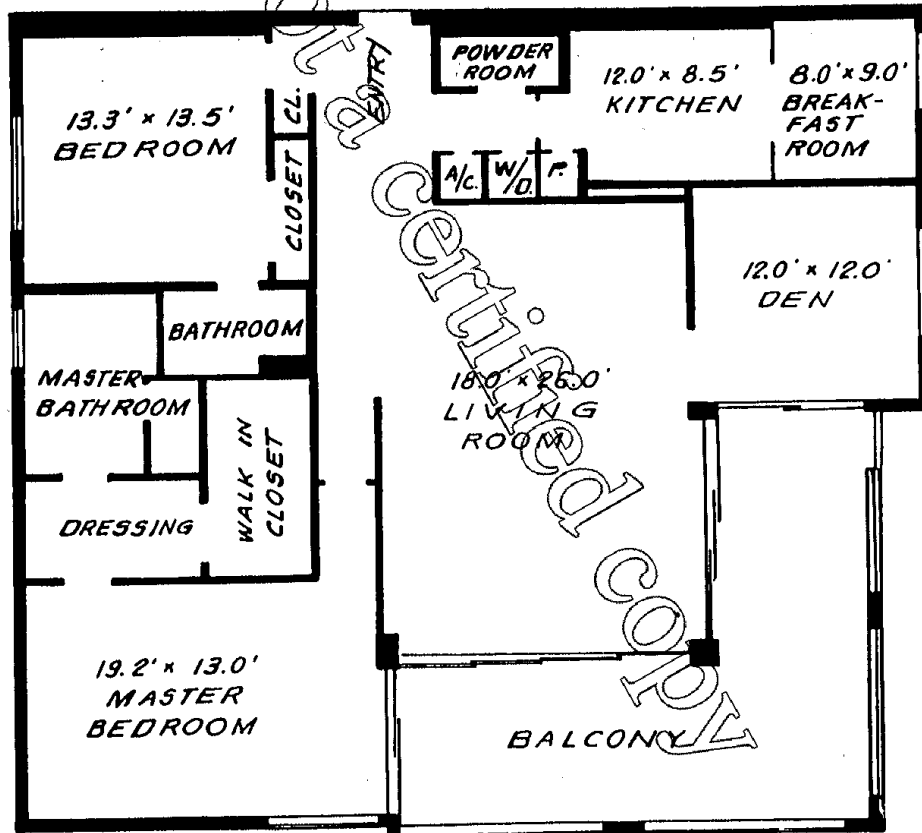
UNITS A-101 AND C-101

UNIT B-102 IDENTICAL TO ABOVE BUT REVERSED.

DIMENSIONS ARE APPROXIMATE

REGENCY APT. "R" SPECIAL TYPICAL FLOOR PLAN

REGENCY AT BOCA POINTE A CONDOMINIUM PHASE II

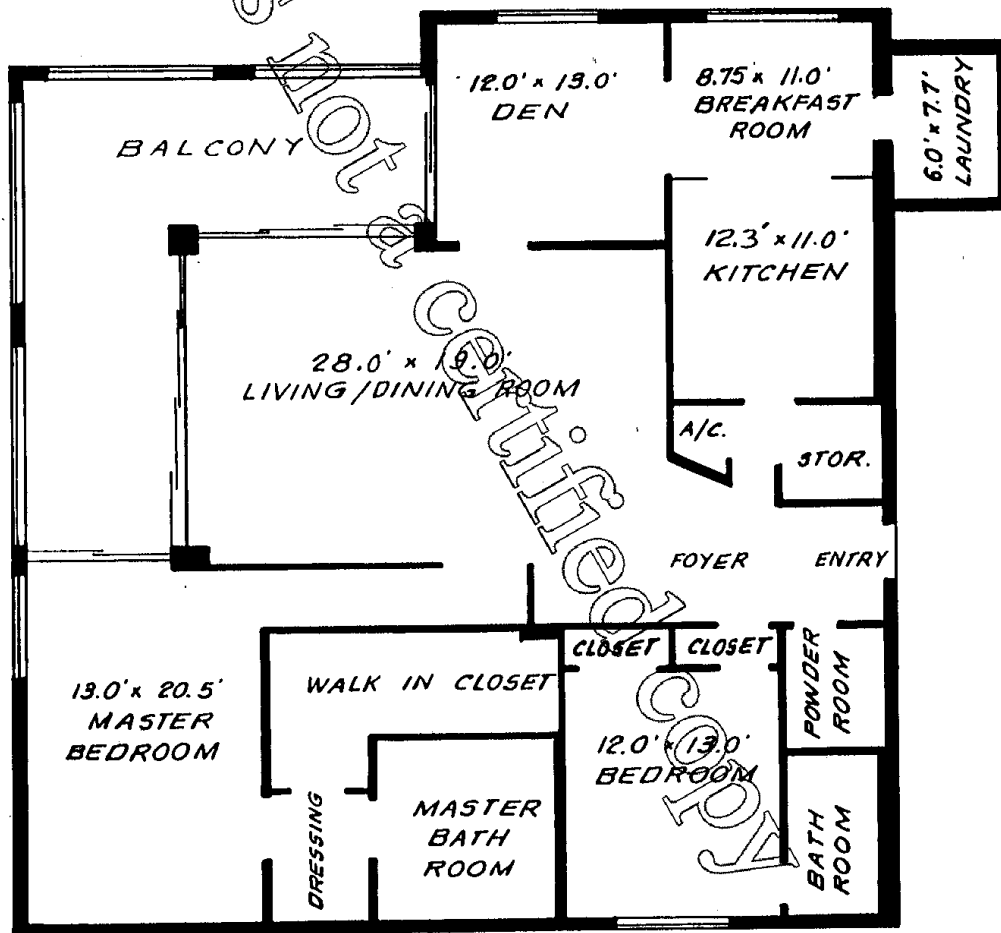


UNIT C-102

DIMENSIONS ARE APPROXIMATE

REGENCY APT. "R" MODIFIED REVERSE TYPICAL FLOOR PLAN

REGENCY AT BOCA POINTE A CONDOMINIUM PHASE II



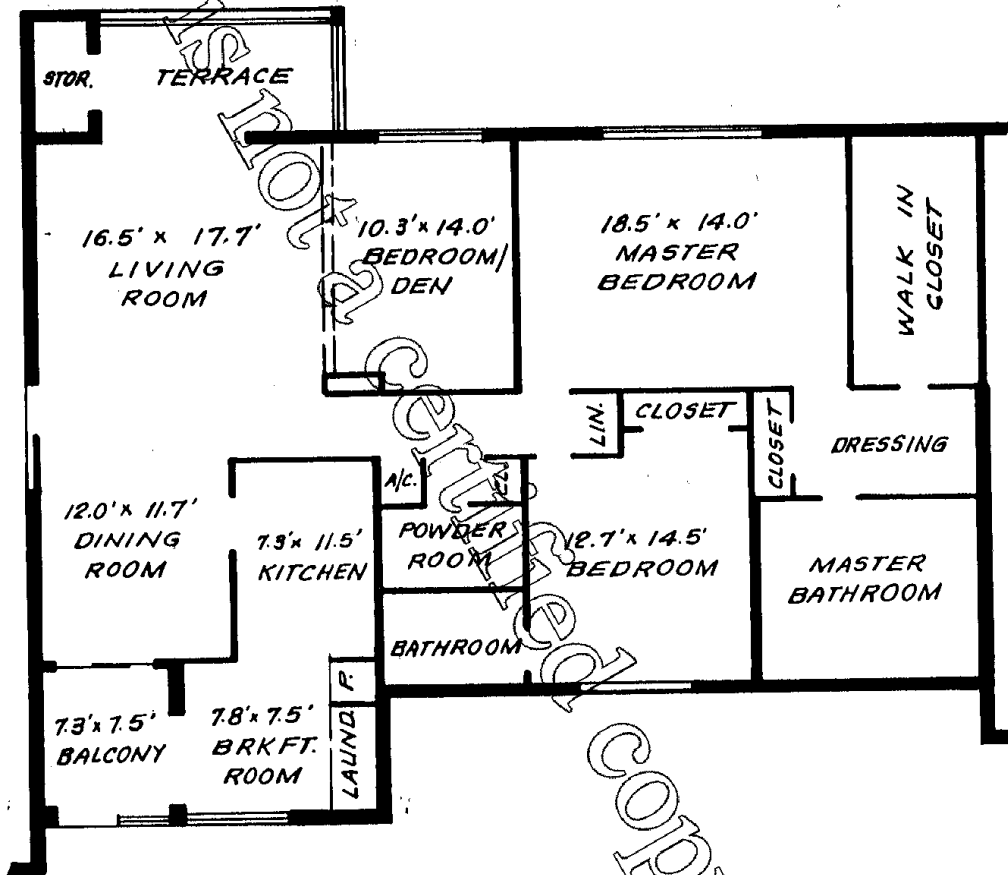
UNITS C-201 TO C-801
A-201 TO A-801

UNITS C-202 TO C-802
B-202 TO B-802
IDENTICAL TO ABOVE
BUT REVERSED.

DIMENSIONS ARE APPROXIMATE

REGENCY APT. "R" TYPICAL FLOOR PLAN

REGENCY AT BOCA POINTE A CONDOMINIUM PHASE II

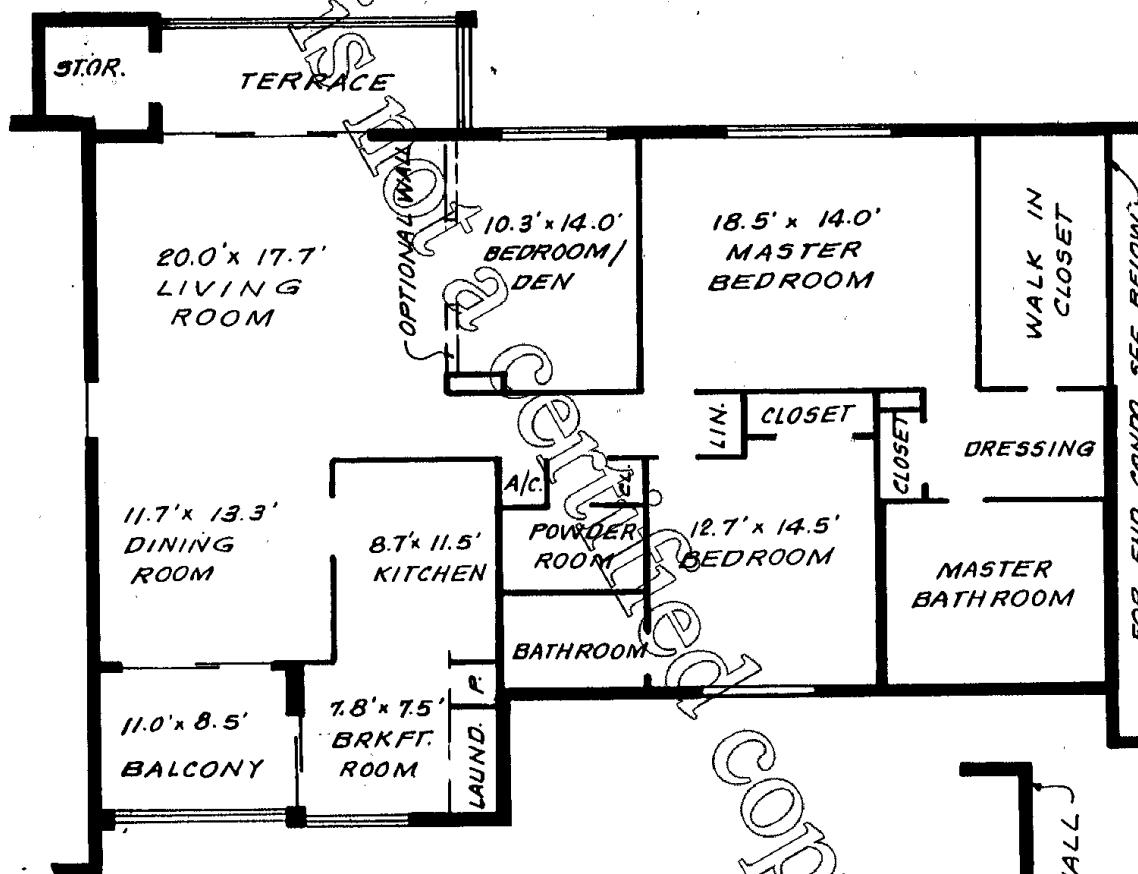


UNIT A-102

DIMENSIONS ARE APPROXIMATE

BRIGHTON
APT. 'B' MODIFIED
TYPICAL FLOOR PLAN

REGENCY AT BOCA POINTE A CONDOMINIUM PHASE II

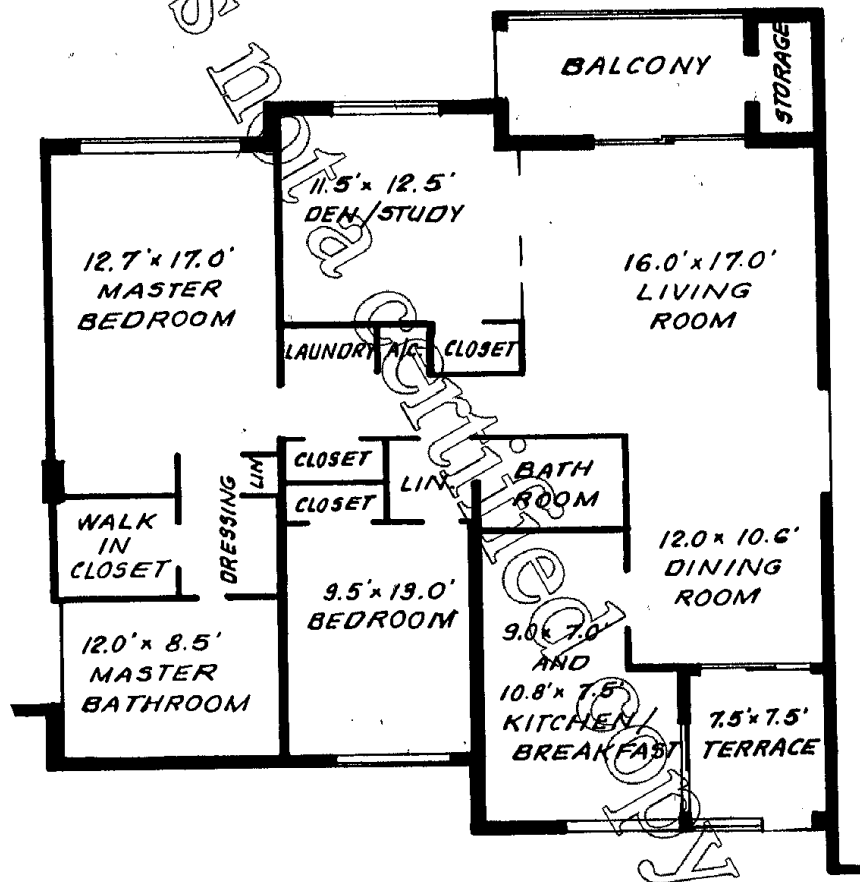


UNITS A-202 TO A-802

DIMENSIONS ARE APPROXIMATE

BRIGHTON
APT. "B"
TYPICAL FLOOR PLAN

REGENCY AT BOCA POINTE A CONDOMINIUM PHASE II

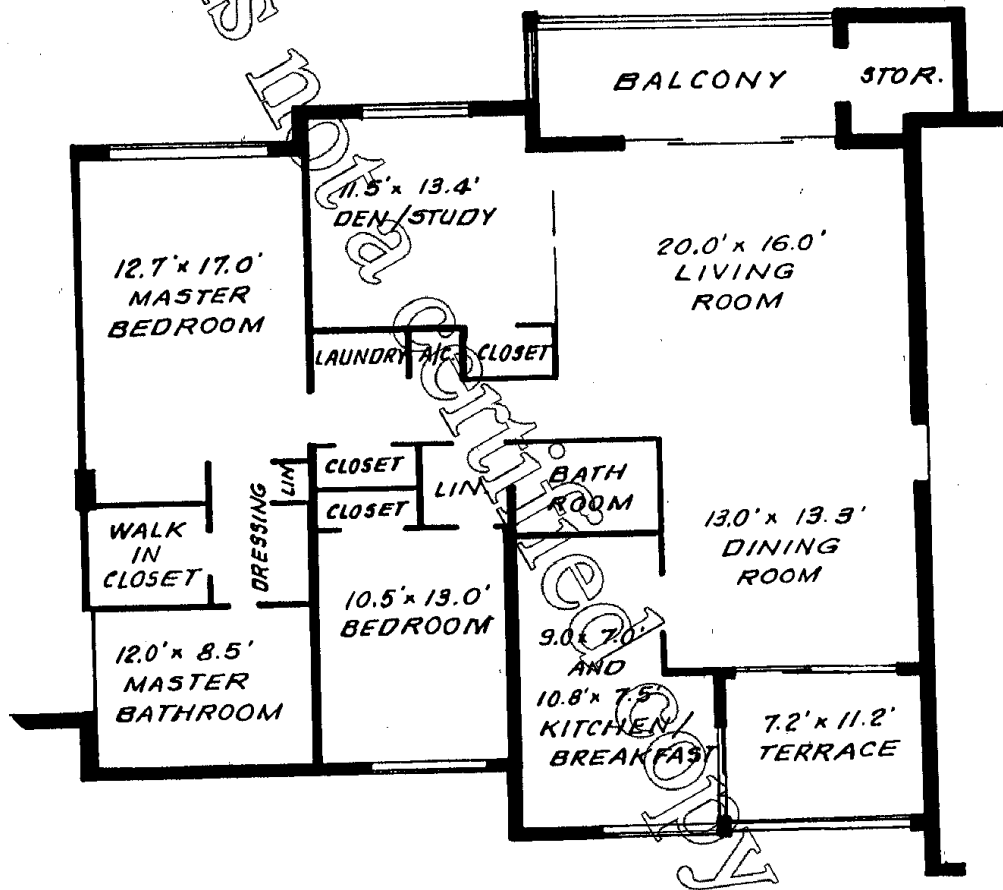


UNIT B-101

DIMENSIONS ARE APPROXIMATE

CAMBRIDGE
APT. "C" MODIFIED REVERSE
TYPICAL FLOOR PLAN

REGENCY AT BOCA POINTE A CONDOMINIUM PHASE II



UNITS B-201 TO B-801

DIMENSIONS ARE APPROXIMATE

CAMBRIDGE APT. "C" REVERSE TYPICAL FLOOR PLAN

RECORD VERIFIED
PALM BEACH COUNTY FLA
JOHN B DUNKLE
CLERK CIRCUIT COURT